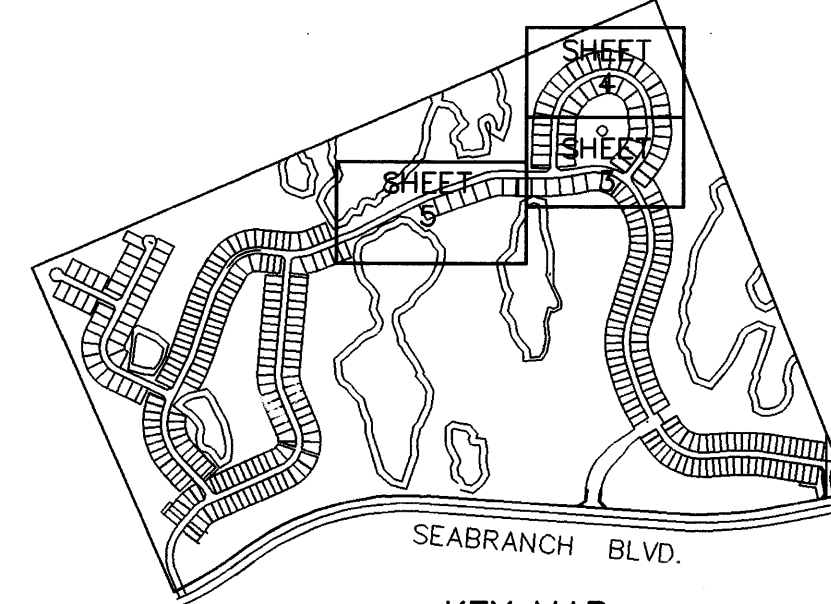


DOUBLE TREE PLAT NO. 3, A P.U.D.

" A PLAT OF PHASE 1F "

BEING A PARCEL OF LAND LYING IN SECTION 1, TOWNSHIP 39 SOUTH, RANGE 41 EAST, MARTIN COUNTY, FLORIDA.

JULY 1993



KEY MAP

LEGAL DESCRIPTION

A PARCEL OF LAND LYING IN SECTION 1, TOWNSHIP 39 SOUTH, RANGE 41 EAST, MARTIN COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEASTERLY CORNER OF DOUBLE TREE PLAT NO. 2, A P.U.D., PLAT BOOK 19, PAGE 22, PUBLIC RECORDS, MARTIN COUNTY, FLORIDA, SAID POINT BEING THE POINT OF BEGINNING; THENCE SOUTH 37°36'49" WEST, A DISTANCE OF 84.97 FEET; THENCE NORTH 52°23'11" WEST, A DISTANCE OF 131.00 FEET; THENCE SOUTH 03°23'53" EAST, A DISTANCE OF 32.81 FEET; THENCE SOUTH 55°35'17" WEST, A DISTANCE OF 50.89 FEET; THENCE SOUTH 44°01'57" WEST, A DISTANCE OF 131.00 FEET; TO A POINT OF INTERSECTION WITH A NON-TANGENT CURVE, CONCAVE SOUTHERLY, HAVING A RADIUS OF 194.00 FEET AND A CENTRAL ANGLE OF 53°29'09", THENCE NORTHWESTERLY ALONG THE ARC OF SAID CURVE TO THE LEFT, A DISTANCE OF 181.10 FEET, SAID ARC SUBTENDED BY A CHORD WHICH BEARS NORTH 72°42'38" WEST, A DISTANCE OF 174.60 FEET TO THE CURVE'S END; THENCE SOUTH 80°32'48" WEST, A DISTANCE OF 113.78 FEET; TO THE BEGINNING OF A CURVE, CONCAVE NORTHERLY, HAVING A RADIUS OF 1656.00 FEET AND A CENTRAL ANGLE OF 10°32'49", THENCE WESTERLY ALONG THE ARC OF SAID CURVE TO THE RIGHT, A DISTANCE OF 304.84 FEET TO THE CURVE'S END; THENCE NORTH 88°54'23" WEST, A DISTANCE OF 238.16 FEET; TO THE BEGINNING OF A CURVE, CONCAVE SOUTHERLY, HAVING A RADIUS OF 294.00 FEET AND A CENTRAL ANGLE OF 20°51'49", THENCE WESTERLY ALONG THE ARC OF SAID CURVE TO THE LEFT, A DISTANCE OF 107.06 FEET TO THE CURVE'S END; THENCE SOUTH 70°13'48" WEST, A DISTANCE OF 398.87 FEET; TO THE BEGINNING OF A CURVE CONCAVE SOUTHEASTERLY, HAVING A RADIUS OF 594.00 FEET AND A CENTRAL ANGLE OF 07°56'19", THENCE WESTERLY ALONG THE ARC OF SAID CURVE TO THE LEFT, A DISTANCE OF 82.30 FEET, SAID ARC SUBTENDED BY A CHORD WHICH BEARS SOUTH 66°15'39" WEST, A DISTANCE OF 82.24 FEET TO THE POINT OF INTERSECTION WITH A NON-TANGENT LINE; THENCE NORTH 27°42'31" WEST, A DISTANCE OF 181.00 FEET; TO A POINT OF INTERSECTION WITH A NON-TANGENT CURVE, CONCAVE SOUTHEASTERLY HAVING A RADIUS OF 775.00 FEET AND A CENTRAL ANGLE OF 07°56'19", THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE TO THE RIGHT, A DISTANCE OF 107.38 FEET, SAID ARC SUBTENDED BY A CHORD WHICH BEARS NORTH 66°15'39" EAST, A DISTANCE OF 107.29 FEET TO THE CURVE'S END; THENCE NORTH 70°13'48" EAST, A DISTANCE OF 398.87 FEET; TO THE BEGINNING OF A CURVE, CONCAVE SOUTHERLY, HAVING A RADIUS OF 475.00 FEET AND A CENTRAL ANGLE OF 20°51'49", THENCE EASTERLY ALONG THE ARC OF SAID CURVE TO THE RIGHT, A DISTANCE OF 172.97 FEET TO THE CURVE'S END; THENCE SOUTH 88°54'23" EAST, A DISTANCE OF 212.29 FEET; THENCE NORTH 01°33'59" EAST, A DISTANCE OF 351.64 FEET; TO THE BEGINNING OF A CURVE, CONCAVE SOUTHEASTERLY, HAVING A RADIUS OF 531.00 FEET AND A CENTRAL ANGLE OF 42°10'14", THENCE NORTHERLY ALONG THE ARC OF SAID CURVE TO THE RIGHT, A DISTANCE OF 390.82 FEET; TO A POINT OF COMPOUND CURVATURE WITH A CURVE, CONCAVE SOUTHEASTERLY, HAVING A RADIUS OF 647.5 FEET AND A CENTRAL ANGLE OF 22°48'10", THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE TO THE RIGHT, A DISTANCE OF 257.55 FEET TO THE CURVE'S END; THENCE NORTH 68°32'23" EAST, A DISTANCE OF 12.90 FEET; TO THE BEGINNING OF A CURVE, CONCAVE SOUTHWESTERLY, HAVING A RADIUS OF 456.00 FEET AND A CENTRAL ANGLE OF 108°06'10", THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE TO THE RIGHT, A DISTANCE OF 860.36 FEET TO THE CURVE'S END; THENCE SOUTH 05°21'27" EAST, A DISTANCE OF 130.45 FEET; TO THE BEGINNING OF A CURVE, CONCAVE WESTERLY, HAVING A RADIUS OF 511.00 FEET AND A CENTRAL ANGLE OF 42°58'16", THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE TO THE RIGHT, A DISTANCE OF 383.24 FEET TO THE CURVE'S END; THENCE SOUTH 37°36'49" WEST, A DISTANCE OF 50.12 FEET, TO THE POINT OF BEGINNING; CONTAINING 24.437 ACRES OF LAND, MORE OR LESS.

CERTIFICATE OF OWNERSHIP AND DEDICATION

DOUBLE TREE, INC., BY AND THROUGH ITS UNDERSIGNED OFFICERS DOES HEREBY CERTIFY THAT IT IS THE OWNER OF THE PROPERTY DESCRIBED HEREON AND THAT IT DOES HEREBY DEDICATE AS FOLLOWS:

1. STREETS AND RIGHTS-OF-WAY: THE STREETS AND RIGHTS-OF-WAY SHOWN ON THIS PLAT ARE HEREBY DECLARED TO BE PRIVATE AND ARE DEDICATED TO THE DOUBLE TREE PROPERTY OWNERS ASSOCIATION, INC. FOR THE USE OF THE OWNERS OF PROPERTY, FOR UTILITY PURPOSES BY ANY UTILITY, AND FOR CABLE TELEVISION IN COMPLIANCE WITH SUCH ORDINANCES AND REGULATIONS AS MAY BE ADOPTED FROM TIME TO TIME BY THE BOARD OF COUNTY COMMISSIONERS OF MARTIN COUNTY, FLORIDA. THE BOARD OF COUNTY COMMISSIONERS OF MARTIN COUNTY, FLORIDA, SHALL HAVE NO RESPONSIBILITY, DUTY OR LIABILITY REGARDING SUCH STREETS AND RIGHTS-OF-WAY. THE STREETS AND RIGHTS-OF-WAY SHOWN HEREON MAY BE USED BY LOST LAKE GOLF PROPERTIES, A FLORIDA GENERAL PARTNERSHIP, ITS SUCCESSORS AND ASSIGNS, PURSUANT TO THE AMENDED AND RESTATED DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR LOST LAKE GOLF CLUB, AS RECORDED IN THE MARTIN COUNTY, FLORIDA PUBLIC RECORDS AS THE SAME MAY BE AMENDED FROM TIME TO TIME.

2. DRAINAGE EASEMENT: THE DRAINAGE EASEMENTS SHOWN ON THIS PLAT ARE PRIVATE EASEMENTS AND ARE HEREBY DEDICATED TO THE DOUBLE TREE PROPERTY OWNERS ASSOCIATION, INC. FOR THE PURPOSE OF THE CONSTRUCTION AND MAINTENANCE OF DRAINAGE AND LAKE FACILITIES. THE BOARD OF COUNTY COMMISSIONERS OF MARTIN COUNTY, FLORIDA, SHALL HAVE NO RESPONSIBILITY, DUTY OR LIABILITY REGARDING SUCH DRAINAGE EASEMENTS. THE DRAINAGE EASEMENTS SHOWN HEREON MAY BE USED BY LOST LAKE GOLF PROPERTIES, A FLORIDA GENERAL PARTNERSHIP, ITS SUCCESSORS AND ASSIGNS, PURSUANT TO THE AMENDED AND RESTATED DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR LOST LAKE GOLF CLUB, AS RECORDED IN THE MARTIN COUNTY, FLORIDA PUBLIC RECORDS AS THE SAME MAY BE AMENDED FROM TIME TO TIME.

3. UPLAND PRESERVE AREAS: THE UPLAND PRESERVE AREAS SHOWN ON THIS PLAT ARE HEREBY DECLARED COMMON AREAS, AND SHALL BE THE PERPETUAL RESPONSIBILITY OF DOUBLE TREE PROPERTY OWNERS ASSOCIATION, INC. AND IN NO WAY MAY BE ALTERED FROM THEIR NATURAL STATE EXCEPT AS SPECIFIED IN THE PRESERVATION AREA MANAGEMENT PLAN APPROVED BY MARTIN COUNTY. ACTIVITIES PROHIBITED WITHIN THE UPLAND PRESERVE AREAS INCLUDE BUT ARE NOT LIMITED TO, CONSTRUCTION OR PLACING OF BUILDING MATERIALS ON OR ABOVE THE GROUND; DUMPING OR PLACING SOIL OR OTHER SUBSTANCES SUCH AS TRASH; REMOVAL OR DESTRUCTION OF THE TREES, SHRUBS, OR OTHER VEGETATION; EXCAVATION, DREDGING OR REMOVAL OF SOIL MATERIAL; DIKING OR FENCING; AND ANY OTHER ACTIVITIES DETRIMENTAL TO DRAINAGE, FLOOD CONTROL, WATER CONSERVATION, EROSION CONTROL, OR FISH AND WILDLIFE HABITAT CONSERVATION OR PRESERVATION. THE BOARD OF COUNTY COMMISSIONERS OF MARTIN COUNTY, FLORIDA, SHALL HAVE NO RESPONSIBILITY, DUTY OR LIABILITY REGARDING SUCH UPLAND PRESERVATION AREAS.

4. UTILITY EASEMENTS: THE UTILITY EASEMENTS SHOWN ON THIS PLAT MAY BE USED FOR UTILITY PURPOSES BY ANY UTILITY INCLUDING CABLE TELEVISION IN COMPLIANCE WITH SUCH ORDINANCES AND REGULATIONS AS MAY BE ADOPTED FROM TIME TO TIME BY THE BOARD OF COUNTY COMMISSIONERS OF MARTIN COUNTY, FLORIDA. THE BOARD OF COUNTY COMMISSIONERS OF MARTIN COUNTY, FLORIDA SHALL BEAR NO RESPONSIBILITY, DUTY, OR LIABILITY REGARDING SUCH EASEMENTS. THE UTILITY EASEMENTS SHOWN HEREON MAY BE USED BY LOST LAKE GOLF PROPERTIES, A FLORIDA GENERAL PARTNERSHIP, ITS SUCCESSORS AND ASSIGNS, PURSUANT TO THE AMENDED AND RESTATED DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR LOST LAKE GOLF CLUB, AS RECORDED IN THE MARTIN COUNTY, FLORIDA PUBLIC RECORDS AS THE SAME MAY BE AMENDED FROM TIME TO TIME.

5. LAKE TRACTS: THE LAKE TRACTS AS SHOWN ON THIS PLAT ARE PRIVATE AND ARE HEREBY DEDICATED TO THE DOUBLE TREE PROPERTY OWNERS ASSOCIATION, INC. FOR THE PURPOSES OF CONSTRUCTING LAKES AND MANAGEMENT OF STORM WATER RUNOFF. THE BOARD OF COUNTY COMMISSIONERS OF MARTIN COUNTY, FLORIDA, SHALL HAVE NO RESPONSIBILITY, DUTY OR LIABILITY REGARDING SUCH LAKE TRACTS.

6. MAINTENANCE EASEMENTS: THE MAINTENANCE EASEMENTS AS SHOWN ON THIS PLAT ARE HEREBY DEDICATED TO THE DOUBLE TREE PROPERTY OWNERS ASSOCIATION, INC. FOR THE PURPOSE OF THE CONSTRUCTION AND MAINTENANCE OF THE LAKE TRACTS HEREIN DEDICATED. THE BOARD OF COUNTY COMMISSIONERS OF MARTIN COUNTY, FLORIDA, SHALL HAVE NO RESPONSIBILITY, DUTY OR LIABILITY REGARDING SUCH EASEMENTS.

CERTIFICATE OF OWNERSHIP AND DEDICATION (CONT.)

7. ACCESS EASEMENT: THE ACCESS EASEMENTS SHOWN ON THIS PLAT ARE PRIVATE EASEMENTS AND ARE HEREBY DEDICATED TO THE DOUBLE TREE PROPERTY OWNERS ASSOCIATION, INC. FOR THE PURPOSE OF THE CONSTRUCTION AND MAINTENANCE OF LAKE FACILITIES. THE BOARD OF COUNTY COMMISSIONERS OF MARTIN COUNTY, FLORIDA, SHALL HAVE NO RESPONSIBILITY, DUTY OR LIABILITY REGARDING SUCH EASEMENTS.

DATED THIS 13TH DAY OF JULY 1993.

DOUBLE TREE, INC. A FLORIDA CORPORATION

BY: THOMAS G. KENNY III, PRESIDENT

ATTEST: NANCY ODOARDI, SECRETARY

CORPORATE SEAL

ACKNOWLEDGEMENT

STATE OF FLORIDA
COUNTY OF MARTIN

THE FOREGOING CERTIFICATE OF OWNERSHIP AND DEDICATION WAS ACKNOWLEDGED BEFORE ME THIS 13TH DAY OF JULY 1993 BY THOMAS G. KENNY III, THE PRESIDENT, AND NANCY ODOARDI, THE SECRETARY, OF DOUBLE TREE, INC., A FLORIDA CORPORATION, ON BEHALF OF THE CORPORATION. THEY ARE PERSONALLY KNOWN TO ME AND DID NOT TAKE AN OATH.

Sarah J. Brunner
NOTARY PUBLIC
JAN 16 94
MY COMMISSION EXPIRES:
AA 732904
MY COMMISSION NUMBER:
SARAH J. BRUNNER
PRINTED NAME

MORTGAGE HOLDERS CONSENT

STATE OF FLORIDA
COUNTY OF MARTIN

THE UNDERSIGNED HEREBY CERTIFIES THAT IT IS THE HOLDER OF A MORTGAGE UPON THE PROPERTY DESCRIBED HEREON AND DOES HEREBY JOIN IN AND CONSENT TO THE DEDICATION OF THE LAND DESCRIBED IN SAID DEDICATION BY THE OWNERS THEREOF, AND AGREES THAT ITS MORTGAGE, WHICH IS RECORDED IN OFFICIAL RECORD BOOK 895, PAGE 2360, OF THE PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA, INCLUDING ALL AMENDMENTS AND ANY FUTURE ADVANCES, SHALL BE SUBORDINATED TO THE DEDICATION SHOWN HEREON.

BARNETT BANK OF MARTIN COUNTY, N.A.

IN WITNESS WHEREOF, THE SAID MORTGAGE HOLDER HAS CAUSED THESE PRESENTS TO BE SIGNED BY ITS VICE PRESIDENT AND ATTESTED TO BY ITS VICE PRESIDENT AND ITS SEAL TO BE AFFIXED HERETO BY AND WITH THE AUTHORITY OF ITS BOARD OF DIRECTORS THIS 17TH DAY OF JULY, A.D., 1993.

BARNETT BANK OF MARTIN COUNTY, N.A.

BY: J.E. Thant, ITS VICE PRESIDENT ATTEST: L.E. Frowbridge, ITS V.P.

ACKNOWLEDGEMENT

STATE OF FLORIDA
COUNTY OF MARTIN

THE FOREGOING MORTGAGE HOLDERS CONSENT WAS ACKNOWLEDGED BEFORE ME THIS 11TH DAY OF JULY 1993 BY JOHN B. TRAWER AND VICE PRESIDENT AND THE VICE PRESIDENT, RESPECTIVELY OF BARNETT BANK OF MARTIN COUNTY, N.A., A FLORIDA BANKING CORPORATION ON BEHALF OF THE CORPORATION. THEY ARE PERSONALLY KNOWN TO ME OR HAVE PRODUCED N/A AS IDENTIFICATION AND DID NOT TAKE AN OATH.

Thomas R. Sawyer
NOTARY PUBLIC
11-19-94
MY COMMISSION EXPIRES:
CC-054858
MY COMMISSION NUMBER:
THOMAS R. SAWYER
PRINTED NAME

MORTGAGE HOLDERS CONSENT

STATE OF FLORIDA
COUNTY OF PALM BEACH

THE UNDERSIGNED HEREBY CERTIFIES THAT IT IS THE HOLDER OF TWO (2) MORTGAGES UPON THE PROPERTY DESCRIBED HEREON AND DOES HEREBY JOIN IN AND CONSENT TO THE DEDICATION OF THE LAND DESCRIBED IN SAID DEDICATION BY THE OWNERS THEREOF, AND AGREES THAT ITS MORTGAGES, WHICH ARE RECORDED IN OFFICIAL RECORD BOOK 887, PAGE 2330, AND OFFICIAL RECORD BOOK 887, PAGE 2317, OF THE PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA, SHALL BE SUBORDINATED TO THE DEDICATION SHOWN HEREON.

SEAWIND LAND CORPORATION, FORMERLY KNOWN AS, T.P. & J. CORPORATION, A DELAWARE CORPORATION AUTHORIZED TO DO BUSINESS IN THE STATE OF FLORIDA.

IN WITNESS WHEREOF, THE SAID MORTGAGE HOLDER HAS CAUSED THESE PRESENTS TO BE SIGNED BY ITS VICE PRESIDENT AND ATTESTED TO BY ITS VICE PRESIDENT AND ITS SEAL TO BE AFFIXED HERETO BY AND WITH THE AUTHORITY OF ITS BOARD OF DIRECTORS THIS 23RD DAY OF JULY, A.D., 1993.

SEAWIND LAND CORPORATION

BY: C. R. Schenk, ITS VICE - PRESIDENT

ATTEST: Joe Trish, ITS SECRETARY

ACKNOWLEDGEMENT

STATE OF FLORIDA
COUNTY OF PALM BEACH

THE FOREGOING MORTGAGE HOLDERS CONSENT WAS ACKNOWLEDGED BEFORE ME THIS 23RD DAY OF JULY 1993 BY C.R. Schenk AND HAL R. BRADFORD, THE VICE PRESIDENT AND THE ASSISTANT SECRETARY RESPECTIVELY OF SEAWIND LAND CORPORATION, A DELAWARE CORPORATION, AUTHORIZED TO DO BUSINESS IN THE STATE OF FLORIDA, ON BEHALF OF THE CORPORATION. THEY ARE PERSONALLY KNOWN TO ME OR HAVE PRODUCED N/A AS IDENTIFICATION AND DID NOT TAKE AN OATH.

Constance B. Robinson
NOTARY PUBLIC
JUNE 24 1995
MY COMMISSION EXPIRES:
CC 10884
MY COMMISSION NUMBER:
CONSTANCE B. ROBINSON
PRINTED NAME

FIRST FEDERAL SAVINGS AND LOAN ASSOCIATION OF THE PALM BEACHES

CLERK'S RECORDING CERTIFICATE

I, MARSHA STILLER, CLERK OF THE CIRCUIT COURT OF MARTIN COUNTY, FLORIDA, HEREBY CERTIFY THAT THIS PLAT WAS FILED FOR RECORD IN PLAT BOOK 13, PAGE 34, MARTIN COUNTY, FLORIDA PUBLIC RECORDS THIS 1 DAY OF September, 1993.

MARSHA STILLER, CLERK OF THE CIRCUIT COURT MARTIN COUNTY, FLORIDA. FILE NUMBER 91017201 BY Deborah Langston, DEPUTY CLERK

1-39-41-001-000-0000.0

SUBDIVISION PARCEL CONTROL NO.

